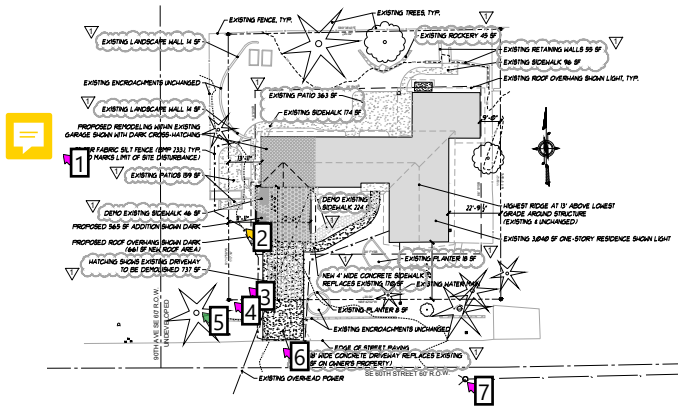


Hu Yu Residence

Addition and Remodel



Site Plan

- Scale: 1" = 20'
- The site currently has a one-story single-family home. Property information based on available public records, deemed accurate but not guaranteed. Verify existing conditions as needed. Locate all utilities prior to any site disturbance. See also attached survey drawing for additional site information.
 - Lot size: 14,176 square feet.
 - Zoning: R-8.6.
 - King County Assessor Parcel Number: 8650700100.
 - Legal description: LOT 1, BLOCK 5, TIMBERLAND NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 58 OF PLATS, PAGE 27, RECORDS OF KING COUNTY, STATE OF WASHINGTON.
 - Property Address: 9004 SE 60th Street, Mercer Island, Washington 98040.
 - Owner: Kent & Cindy Hu Yu.
 - Proposed improvements to comply with the 2018 IRC and other codes as adopted by the City of Mercer Island.
 - Proposed improvements include remodeling 174 net square feet of living area, converting 330 net square feet of garage to living area, and adding a 565 gross square foot garage.
 - Existing building height: 12'. No increase in building height proposed.
 - Proposed lot coverage: Roof: 4,666 SF; Driveway: 422 SF (7%). Total: 5,088 SF (36%).
 - Proposed hardtop coverage: Patio: 522 SF; Walkways: 440 SF; Rookeries & Retaining Walls: 154 SF. Total: 1,117 SF (7.9%).
 - Calculations do not include areas of driveway or hardtop in the R.O.W. or under roof overhangs.
 - Remaining lot area outside of roof overhangs shall be landscaped as required by the City of Mercer Island.
 - Green roof area: 3,060 square feet existing + 565 proposed area = 3,625 square feet (25.6%).
 - Total Side Yard Setback = 12' x 17' = 204'. Side Yard Setbacks = 11' (west) + 8' (east). Maximum 18" eave encroachment.
 - No trees shall be removed as part of the proposed work effort.

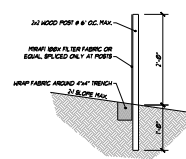
Erosion and Sediment Control Plan

- See site plan for location of applicable BMPs. See separate SWPPP Short Form for additional details and applicable BMPs. All work to comply with applicable sections of the 2014 SWMM-WV.
- There are no identified areas of potential erosion problems. The ground surface adjacent to proposed construction activities is maintained or landscaped.
- There are no surface waters, critical areas, or related buffers in the vicinity of the proposed construction activity.
- There are no FEMA base flood boundaries or Shoreline Management boundaries in the vicinity of the proposed construction activity.
- No changes to the existing topography are proposed or required. See site survey for additional site information.
- The General Contractor will maintain and monitor the Stormwater Pollution Prevention Plan.
- There are no stormwater flow paths through the site.



Vicinity Map

(No Scale)



BMP 233 Silt Fence

(No Scale)

- Joints in filter fabric shall be overlapped 6" at post.
- Use staples, wire rings, or equivalent to attach fabric to fence.
- Remove sediment when it reaches 1/3 of fence height.
- Location of fencing shall be as shown on approved plans or as directed by the City.

Deferred Submittals

- Electrical permit (by subcontractor)
- Plumbing permit (by subcontractor)
- Mechanical permit (by subcontractor)

Demolition Notes

- Verify load-bearing condition of all building elements to be affected by the proposed work and provide appropriate bracing or other interim support as required.
- Maintain required egress from and access to the building during demolition as required.
- Maintain practical use of the building and surrounding site as required by the Owner.
- Verify condition of ground below elements to be demolished and verify minimum 1,500 PSF bearing capacity for all new foundations.
- Protect remaining building elements from damage and exposure to weather.
- Notify the Architect if any remaining structure is damaged or otherwise not suitable to accommodate the proposed new construction.

Construction Notes

- New exterior walls 2x4 studs @ 16" o.c. with R-21 fiberglass batt insulation at conditioned space. Existing exterior walls 2x4 studs @ 16" o.c. (verify) with R-19 fiberglass batt insulation.
- Verify load-bearing condition of affected building elements and provide interim support as needed.
- New windows to match existing windows as closely as possible, vinyl framed, double-glazed, low-e coating, UP-24 max., sizes as noted on plan. New exterior doors shall have weatherstripping, threshold, and sweep, UP-46 max.
- All dimensions to face of stud framing unless noted otherwise. Verify all existing building dimensions and conditions as needed to ensure compatibility with the proposed work.
- Provide sealant at all slab penetrations and otherwise provide suitable measures to prevent radon gas from migrating into the building enclosure.
- Treat all cuts of pressure-treated lumber for uniform resistance to decay.
- All new construction shall comply with the 2018 IRC, 2018 WSEC, and other codes as required.
- A minimum of 80% of permanently installed lamps in lighting fixtures shall be high-efficacy lamps.
- Proposed new heated floor area is 330 square feet; 1.5 points in energy credits are required as specified in WSEC Section R406.2(1). 1.5 points in energy credits proposed from Table R406.2, Option 1 (windows U-24 or better) and Option 3.3 (Energy Star gas water heater UEF ≥ 81 or better).
- Heating in new spaces provided by ducted air from an existing gas furnace. New ducts in unconditioned space insulated to R-6 minimum.
- Laundry and bathroom fans minimum 90 CFM, maximum 1 zone, 2.8 CFM/watt efficacy, controls per IRC M1505.4.4.1 (see mechanical permit for details).
- Air barrier provided as per WSEC R402.4.1.1 and tested to allow no more than 5 ACH.

Monitored Fire Alarm System Required
System must meet NFPA 72 Chapter 29 specifications and be approved by the CoMI Fire Marshal. **Separate Permit Required.**



NOTE:
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REVISIONS:
03/08/22



SHEET TITLE:
Site Plan, Notes

SHEET NUMBER:
A1.01



DO NOT USE FOR CONSTRUCTION

Summary of Comments on 2201-224-SUB1-PLANS_review.pdf



Page: 1

 Number: 1 Author: Civil Review (kevin.nguyen@MercerIsland.gov) Subject: Civil Review (kevin.nguyen@mercerisland.gov) Date: 5/23/2022 2:46:43 PM
 On behalf of Civil Review (kevin.nguyen@mercerisland.gov)



Silt fencing must be installed on private property and may not encroach into City ROW. As shown, silt fencing currently encroaches into ROW on the southern and western fronts.

 Number: 2 Author: Land Use Planning Review (molly.mcguire@mercerisland.gov) Subject: Sticky Note Date: 6/6/2022 10:04:24 PM
 No leave encroachment is allowed into minimum side yard setback on interior lot lines. Please show minimum side yard setbacks per MICC 19.02.020(C)(1)

If jogging side yard setbacks, clearly show where jog occurs and show that the sum meets the 17% of lot width requirement. In this case, the minimum side yard setback is 33% of the aggregate side yard setbacks since the variable side yard setbacks do not apply.

 Number: 3 Author: Civil Review (kevin.nguyen@MercerIsland.gov) Subject: Civil Review (kevin.nguyen@mercerisland.gov) Date: 5/23/2022 2:46:43 PM
 On behalf of Civil Review (kevin.nguyen@mercerisland.gov)



Provide additional information to clarify how and where the storm runoff from the driveway will flow to.



 Number: 4 Author: Civil Review (kevin.nguyen@MercerIsland.gov) Subject: Civil Review (kevin.nguyen@mercerisland.gov) Date: 5/23/2022 2:46:43 PM
 On behalf of Civil Review (kevin.nguyen@mercerisland.gov)

Construction Stormwater Pollution Prevention Comments:



1) Identify the construction access. If the existing driveway will be used as access, please note it.

2) Identify stockpile/staging area. Stockpile/staging area must be located on private property.



 Number: 5 Author: Tree Review (john.kenney@mercergov.org) Subject: Sticky Note Date: 5/26/2022 9:58:03 AM
 Call out no new gravel in the area near city tree. No silt fence allowed in right of way. But 3' orange fence should be put up in right of way to protect area near this cedar from compaction during construction.

 Number: 6 Author: Civil Review (kevin.nguyen@MercerIsland.gov) Subject: Civil Review (kevin.nguyen@mercerisland.gov) Date: 5/23/2022 2:46:43 PM
 On behalf of Civil Review (kevin.nguyen@mercerisland.gov)

No concrete or pavers in ROW.

 Number: 7 Author: Civil Review (kevin.nguyen@MercerIsland.gov) Subject: Civil Review (kevin.nguyen@mercerisland.gov) Date: 5/23/2022 2:46:43 PM
 On behalf of Civil Review (kevin.nguyen@mercerisland.gov)

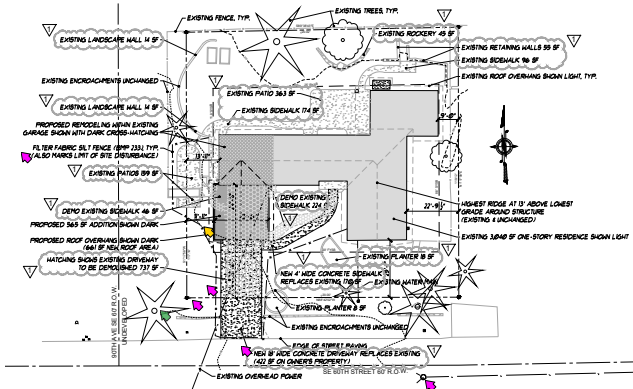
Show and provide a note that all storm drain inlets within 50' of the site must have inlet protection. Provide detail for storm drain inlet protection.

 Number: 8 Author: Land Use Planning Review (molly.mcguire@mercerisland.gov) Subject: Sticky Note Date: 6/6/2022 10:20:10 PM
 Show lot slope calculation on plans. High and low points and the shortest vertical distance between.

Comments from page 1 continued on next page

Hu Yu Residence

Addition and Remodel



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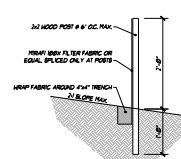
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(No Scale)



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(No Scale)

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10




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REVISIONS:
03/08/22


SHEET TITLE:
Site Plan, Notes

SHEET NUMBER:
A1.01

DO NOT USE FOR CONSTRUCTION

 Number: 9 Author: Building Plan Review (jacob.halverson@mercerisland.gov) Subject: Sticky Note Date: 6/22/2022 9:59:45 AM

Include table **R402.1.1** from the wsec on the permit plan set.

 Number: 10 Author: jeromy.hicks Subject: Stamp Date: 4/12/2022 10:30:55 AM

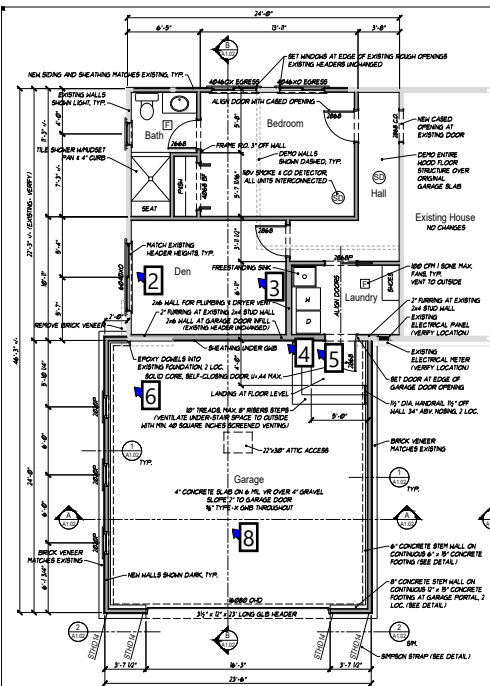


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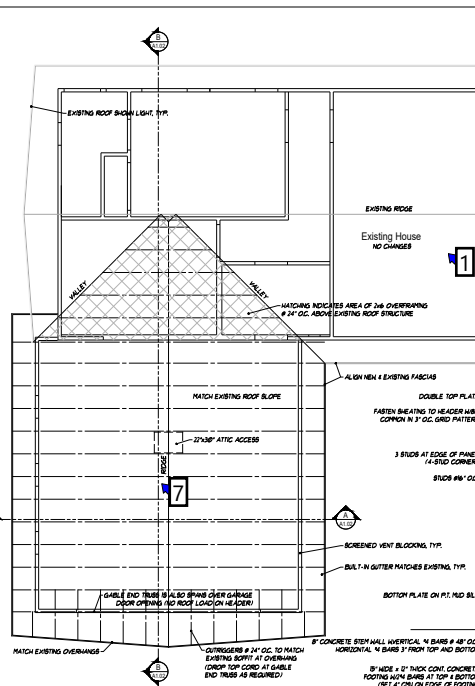
REVISIONS:

SHEET TITLE:
Floor & Roof Plans
Building Sections

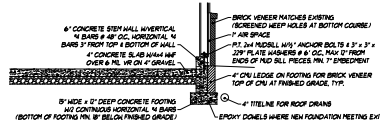
SHEET NUMBER:
A1.02



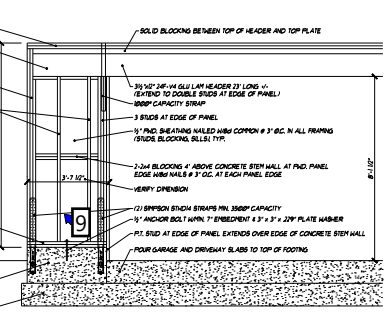
Foundation & Main Floor Plan
Scale: 1/4" = 1'-0"



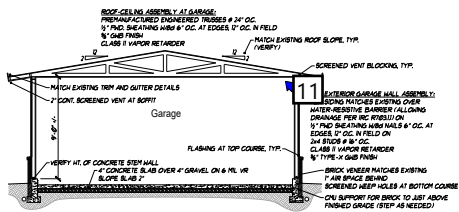
Roof Framing Plan
Scale: 1/4" = 1'-0"



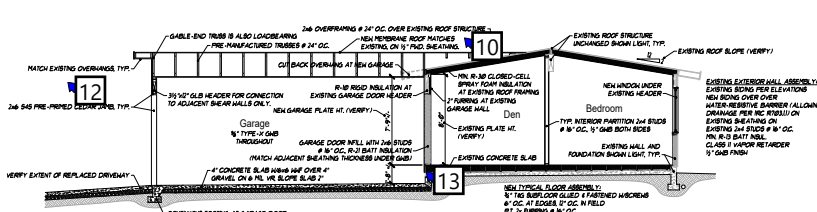
1 Typical Perimeter Foundation
Scale: 1/2" = 1'-0"



2 Garage Portal Framing
Scale: 1/2" = 1'-0"

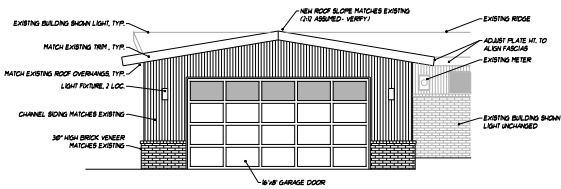


Building Section A-A
Scale: 1/4" = 1'-0"



Building Section B-B
Scale: 1/4" = 1'-0"

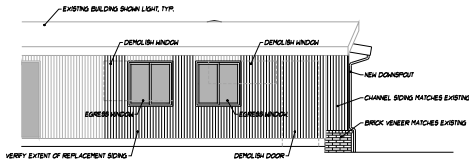
 <p>Number: 1</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:11:47</p>
<p> Provide foundation plan and locate all new and existing (presumed) extents/depths and foundations.</p>			
 <p>Number: 2</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:07:18</p>
<p> Room as detailed (Den) resembles a sleeping room, provide this window as egress.</p>			
 <p>Number: 3</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:06:36</p>
<p> Provide an additional smoke detector in this room.</p>			
 <p>Number: 4</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:05:29</p>
<p> Provide note that provides compliance per: R302.5: Openings and penetrations through the walls or ceilings separating the dwelling from the garage shall be in accordance with Sections R302.5.1 through R302.5.3.</p>			
 <p>Number: 5</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:03:39</p>
<p> Provide all separation requirements per IRC R302.6 on plan or building section for clarity for dwelling/garage fire separation. Garage separation requirements include 5/8" type X between garage and habitable space above, 1/2" between garage and habitable space on garage side of walls, and a 20 min rated or solid core entry door with a self-closing device.</p>			
 <p>Number: 6</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:04:29</p>
<p> dedicated mechanical space found elsewhere in the residence. Please locate major mechanical equipment.</p> <p>If Mechanical equipment appears to interfere with drive aisle and If mechanical equipment is to be in garage, show location and provide bollard/bollards or approved alternative to protect mechanical equipment in driveway per M1307.3.1. If curb provided note requirement per M1307.3 requiring 18".</p>			
 <p>Number: 7</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:09:07</p>
<p> Provide attic ventilation per (R806.1) & calculations unless insulation is applied on the under-side of roof sheathing. (R806.5)</p>			
 <p>Number: 8</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:03:02</p>
<p> Provide heat detector. R314.2.3 A heat detector or heat alarm rated for the ambient outdoor temperatures and humidity shall be installed in new garages that are attached to or located under new and existing dwellings. Heat detectors and heat alarms shall be installed in a central location and in accordance with the manufacturer's instructions.</p>			
 <p>Number: 9</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:17:39</p>
<p> Indicate any shearwalls, provide shearwall design and schedule to resist any lateral forces garage is subject to. Provide holddown details, locations, and design if required - on foundation or framing plan.</p>			
 <p>Number: 10</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:16:29</p>
<p> Provide a typical over framing detail of connection between existing sheathing/roof system and new proposed roof sheathing and system. Specify nailing at a minimum at connections.</p>			
 <p>Number: 11</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:19:49</p>
<p> Provide truss to top plate detail structural detail.</p>			
 <p>Number: 12</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:26:55</p>
<p> R301.1.3: Work done in this area affects structural. Specification and details of a new header and supports traced to foundation/ shear transfer will be required with supporting calculations. Prescriptive approach to design if conforming entirely to WSRC, and calculations for any elements which are designed per WSBC to be provided.</p> <p>If this is not done prescriptively a registered design professional will need to do design and submit calculations with a key plan.</p>			
 <p>Number: 13</p>	<p>Author: Building Plan Review (jacob.halverson@mercerisland.gov)</p>	<p>Subject: Sticky Note</p>	<p>Date: 6/22/2022 10:23:03</p>
<p> Provide this structural detail, at proposed new flooring to existing foundation to floor. I.e. Is this is ledger condition now?</p>			



South Elevation

Scale: 1/4" = 1'-0"

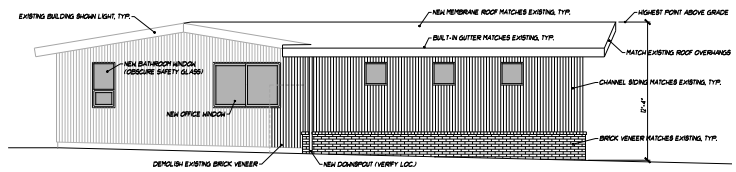
1. Install finishes, flashing, caulking, and sealants as required to prevent water penetration of the building envelope, typical.
2. Verify condition of existing building elements to remain under new finishes, typical.
3. Match existing finishes.
4. New windows match existing style, typical.



North Elevation

Scale: 1/4" = 1'-0"

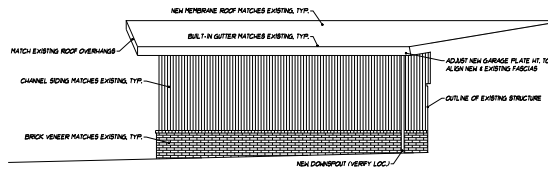
1. Install finishes, flashing, caulking, and sealants as required to prevent water penetration of the building envelope, typical.
2. Verify condition of existing building elements to remain under new finishes, typical.
3. Match existing finishes.
4. New windows match existing style, typical.



West Elevation

Scale: 1/4" = 1'-0"

1. Install finishes, flashing, caulking, and sealants as required to prevent water penetration of the building envelope, typical.
2. Verify condition of existing building elements to remain under new finishes, typical.
3. Match existing finishes.
4. New windows match existing style, typical.



East Elevation

Scale: 1/4" = 1'-0"

1. Install finishes, flashing, caulking, and sealants as required to prevent water penetration of the building envelope, typical.
2. Verify condition of existing building elements to remain under new finishes, typical.
3. Match existing finishes.
4. New windows match existing style, typical.

PROJECT:
 9004 SE 60th Street
 Mercer Island, WA

PROJECT NUMBER:
 01.21012

DATE:
 January 21, 2022

DATE:
 January 21, 2022


DATE:
 January 21, 2022


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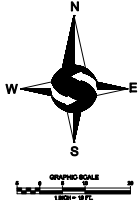
REVISIONS:

SHEET TITLE:
 Exterior Elevations
 Details

SHEET NUMBER:
 A1.03

 Number: 1 Author: Land Use Planning Review (molly.mcguire@mercerisland.gov) Subject: Sticky Note Date: 6/6/2022
3:00:24 PM
Provide ABE calculations

 Number: 2 Author: Land Use Planning Review (molly.mcguire@mercerisland.gov) Subject: Sticky Note Date: 6/6/2022
3:00:10 PM
Provide existing and finished grades, Average Building Elevation, and ABE +30 on all elevation plans.



LEGEND

○ FOUND MONUMENT IN CARE	—○— OVERHUNG POWER
○ FOUND MONUMENT OBSERVED	—○— OVERHUNG UTILITY
○ NOT SET BY SURVEYOR	—○— WOOD FENCE
○ NOT SET BY SURVEYOR	—○— CONCRETE WALL
○ FOUND METEER	—○— SOCIETY
○ FOUND METEER	—○— ASPHALT SURFACE
○ FOUND METEER	—○— CONCRETE SURFACE
○ FOUND METEER	—○— GRAVEL SURFACE
○ FOUND METEER	—○— BRICK SURFACE
○ FOUND METEER	—○— CEMENT
○ FOUND METEER	—○— DOORWAY
○ FOUND METEER	—○— WINDOW
○ FOUND METEER	—○— POLE
○ FOUND METEER	—○— BENCH MARK
○ FOUND METEER	—○—

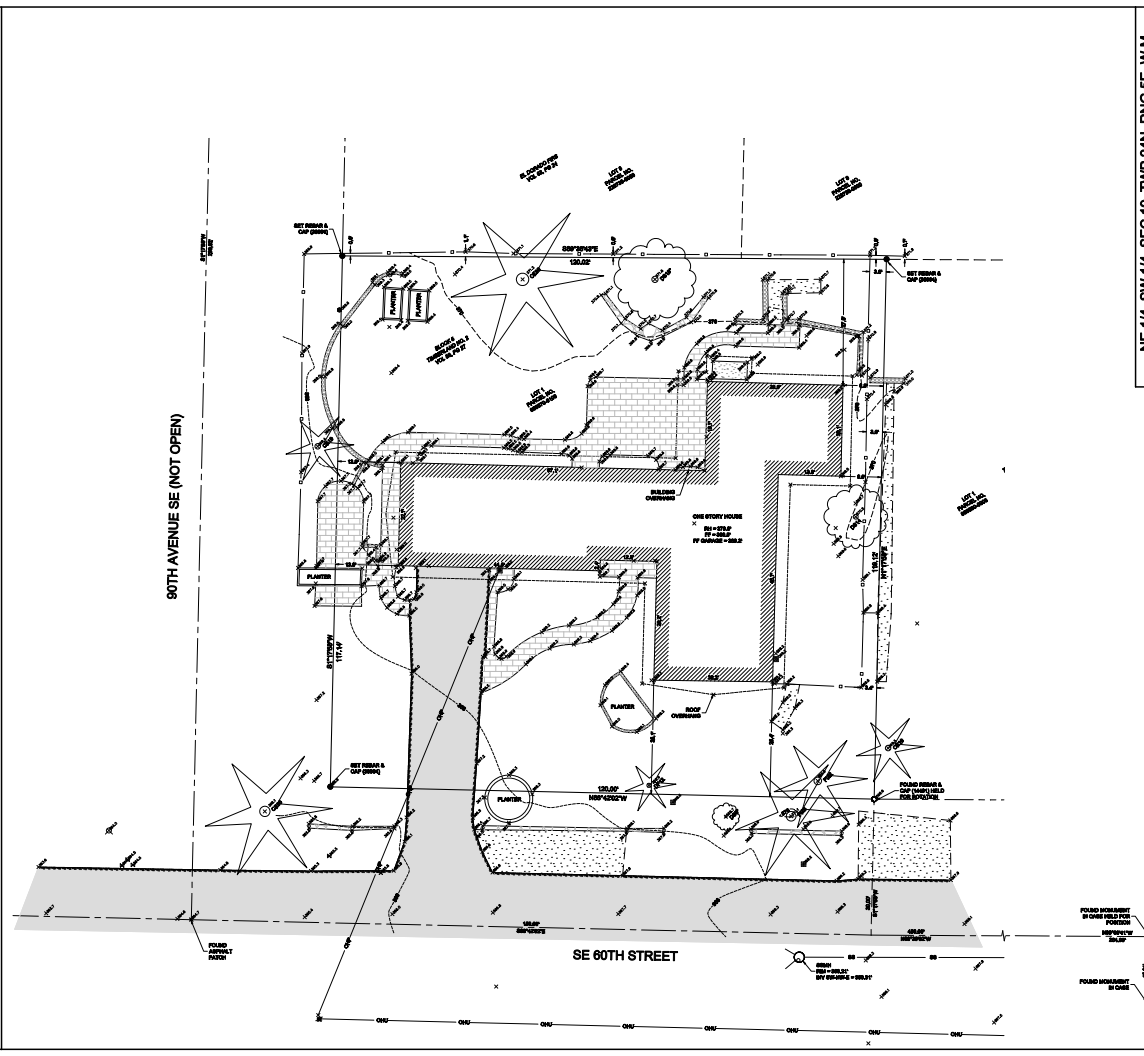
LEGAL DESCRIPTION
 LOT 1, BLOCK 1, TRACT 100, AS SHOWN ON THE PLAT THEREOF RECORDED IN VOLUME 114, PAGE 114, OF THE RECORDS OF THE COUNTY OF MERCER, STATE OF WEST VIRGINIA.

BASIS OF BEARINGS
 ALL BEARINGS WERE TAKEN FROM THE RECORDS OF MERCER COUNTY, WEST VIRGINIA, AS RECORDED IN VOLUME 114, PAGE 114, OF THE RECORDS OF THE COUNTY OF MERCER, STATE OF WEST VIRGINIA.

PROJECT INFORMATION
 SUBMITTER: KENT HUIYU, INC.
 PROJECT OWNER: KENT HUIYU, INC.
 TAX PARCEL NUMBER: 0000-000
 PROJECT ADDRESS: 8004 SE 60TH STREET, MERCER ISLAND, WA 98040
 ZONING: R-4.0
 JURISDICTION: CITY OF MERCER ISLAND
 PERIOD ADJUSTED: 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

GENERAL NOTES
 1. THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF A RECORDING OF A DEED OR OTHER INSTRUMENT THAT AFFECTS THE PROPERTY OR THE SURVEY.
 2. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A VISUAL INSPECTION OF THE PROPERTY AND HAS NOT BEEN VERIFIED BY A DEED OR OTHER INSTRUMENT.
 3. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF A RECORDING OF A DEED OR OTHER INSTRUMENT THAT AFFECTS THE PROPERTY OR THE SURVEY.
 4. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF A RECORDING OF A DEED OR OTHER INSTRUMENT THAT AFFECTS THE PROPERTY OR THE SURVEY.
 5. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

VERTICAL DATUM & CONTOUR INTERVAL
 ALL ELEVATIONS ON THIS SURVEY WERE OBTAINED FROM THE NATIONAL NAVY DATUM (NAD 83). THE VERTICAL DATUM IS THE MEAN SEA LEVEL (MSL) AT THE POINT OF MEASUREMENT. THE CONTOUR INTERVAL IS 1.0 FEET.



NE 1/4, SW 1/4, SEC. 19, TWP. 24N, RNG. 5E, W.M.
 SE 1/4, SW 1/4, SEC. 19, TWP. 24N, RNG. 5E, W.M.

NO.	DATE	REVISION

TOPOGRAPHIC SURVEY
 KENT HUIYU
 8004 SE 60TH STREET
 MERCER ISLAND, WA 98040

PROJECT NO. 21-563
 DRAWN BY: MTS
 CHECKED BY: TMW
 DATE: 10/19/2022
 SHEET 1 OF 1

This page contains no comments